

This instrument prepared by, or under the supervision of (and after recording, return to):

Gary A. Saul, Esq.  
Greenberg Traurig, P.A.  
333 SE 2nd Avenue  
Miami, FL 33131

CFN 2016R0251731  
DR BK 30056 Pgs 3253-3297 (45Pgs)  
RECORDED 04/29/2016 12:37:36  
HARVEY RUVIN, CLERK OF COURT  
MIAMI-DADE COUNTY, FLORIDA

**AMENDMENT TO DECLARATION OF  
CENTRO, A CONDOMINIUM**  
(Substantial Completion Certificate)

**THIS AMENDMENT** is made as of the 15th day of April, 2016 by **NGD-CENTRO, LLC, a Florida limited liability company** ("Developer"), to that certain Declaration of **CENTRO, A CONDOMINIUM** recorded July 24, 2013 in Official Records Book 28739, Page 2632 of the Public Records of Miami-Dade County, Florida (as amended and/or supplemented from time to time, the "Declaration"). Unless the context otherwise requires, any capitalized term not defined but used herein shall have the meaning given to such word or words in the Declaration.

**RECITALS**

- A. Developer is the "Developer" of the Condominium under the Declaration.
- B. Pursuant to Section 6.5 of the Declaration, the Developer, during the time the Developer has the right to elect a majority of the Board of Directors of the Association, may unilaterally amend the Declaration, Articles of Incorporation or By-Laws to correct an error, or to effect any other amendment.
- C. Pursuant to Section 13.1 of the Declaration, all Unit Owners shall be excused from the payment of Common Expenses, no Unit Owner shall be obligated for payment of Assessments, and no Assessment obligations shall accrue against any of the Units, until the date that the Substantial Completion Amendment is recorded in the Public Records of the County as an amendment to the Declaration. This Amendment shall constitute the Substantial Completion Amendment.
- D. Developer is presently the owner of 100% of the Units in the Condominium and has the right to elect a majority of the Board of Directors of the Association.
- E. In accordance with the foregoing, Developer now desires to amend the Declaration in the manner hereinafter set forth and to constitute the Substantial Completion Amendment.

**NOW, THEREFORE**, in consideration of the premises and by virtue of the authority of Developer as hereinabove set forth, the Declaration is hereby amended and supplemented as follows:

1. The foregoing recitals are true and correct and incorporated herein as if repeated at length.



45

2. Exhibit "1" to the Declaration is hereby amended and replaced in its entirety with the Exhibit "1" attached hereto and made a part hereof.
3. Exhibit "2" to the Declaration is hereby amended and replaced in its entirety with the Exhibit "2" attached hereto and made a part hereof.
4. Exhibit "3-1" to the Declaration is hereby amended and replaced in its entirety with the Exhibit "3-1" attached hereto and made a part hereof.
5. Exhibit "3-2" to the Declaration is hereby amended and replaced in its entirety with the Exhibit "3-2" attached hereto and made a part hereof.
6. Exhibit "6" to the Declaration is hereby amended and replaced in its entirety with the Exhibit "6" attached hereto and made a part hereof.
7. Section 3.1 of the Declaration entitled "Identification of Units" is hereby amended to read as follows (with deleted text struck through and added text underlined):

3.1 Identification of Units. The Land has constructed thereon ~~two one~~ (21) Buildings containing a total of three hundred fifty ~~nine eight~~ (3598) Units consisting of three hundred fifty two (352) Residential Units and seven ~~(7)~~ six (6) Commercial Units. Each such Unit is identified by a separate numerical and/or alpha-numerical designation. The designation of each of such Units is set forth on **Exhibit "2"** attached hereto. Exhibit "2" consists of a survey of the Land, a graphic description of the Improvements located thereon, including, but not limited to, the Building in which the Units are located, and a plot plan thereof. Said Exhibit "2", together with this Declaration, is sufficient in detail to identify the Common Elements and each Unit and their relative locations and dimensions. There shall pass with a Unit as appurtenances thereto: a) an undivided share in the Common Elements and Common Surplus; b) the exclusive right to use such portion of the Common Elements as may be provided in this Declaration, including, without limitation, the right to transfer such right to other Units or Unit Owners; c) an exclusive easement for the use of the airspace occupied by the Unit as it exists at any particular time and as the Unit may lawfully be altered or reconstructed from time to time, provided that an easement in airspace which is vacated shall be terminated automatically; d) membership in the Association with the full voting rights appurtenant thereto; and e) other appurtenances as may be provided by this Declaration.

8. Section 8 of the Declaration entitled "Additions, Improvements or Alterations by the Association" is hereby amended to read as follows (with deleted text struck through and added text underlined):

8. Additions, Improvements or Alterations by the Association. Except only as provided below to the contrary, whenever in the judgment of the Board of Directors, the Common Elements, the Association Property, or any part of either, shall require capital additions, alterations or improvements (as distinguished from repairs and replacements) costing in excess of five eight percent (58%) of the then applicable budget of the Association in the aggregate in any calendar year, the Association may proceed with such additions, alterations or improvements only if the making of such additions, alterations or improvements shall have been approved by an affirmative vote representing a majority of the voting interests represented at a meeting at which a quorum is attained. Any such additions, alterations or improvements to such Common Elements, the Association Property, or any part of either, costing in the aggregate five eight percent (58%) of the then applicable budget of the Association or less in a calendar year may be made by the



Association without approval of the Unit Owners. The cost and expense of any such additions, alterations or improvements to such Common Elements or Association Property shall constitute a part of the Common Expenses and shall be assessed to the Unit Owners as Common Expenses. In addition, whenever in the judgment of the Board of Directors, the Residential Limited Common Elements shall require capital additions, alterations or improvements (as distinguished from repairs and replacements) costing in excess of five ~~eight~~ percent (5~~8~~%) of the then applicable budget of the Association in the aggregate in any calendar year, the Association may proceed with such additions, alterations or improvements only if the making of such additions, alterations or improvements shall have been approved by an affirmative vote representing a majority of the Residential Units' voting interests represented at a meeting at which a quorum is attained. Any such additions, alterations or improvements to such Residential Limited Common Elements costing in the aggregate five ~~eight~~ percent (5~~8~~%) of the then applicable budget of the Association or less in a calendar year may be made by the Association without approval of the Residential Unit Owners. The cost and expense of any such additions, alterations or improvements to the Residential Limited Common Elements shall constitute a part of the Residential Limited Common Expenses and shall be assessed to the Residential Unit Owners, as Residential Limited Common Expenses. For purposes of this Section, "aggregate in any calendar year" shall include the total debt incurred in that year, if such debt is incurred to perform the above-stated purposes, regardless of whether the repayment of any part of that debt is required to be made beyond that year. Notwithstanding anything herein contained to the contrary., to the extent that any additions, alterations or improvements are necessitated by, or result from, an Extraordinary Financial Event, then such additions, alterations or improvements may be made upon decision of the Board alone (without requiring any vote by Unit Owners and without regard to whether the additions, alterations or improvements will exceed the threshold amount set forth above.

Notwithstanding anything to the contrary, material alterations or substantial additions to the common elements or to real property which is association property may be undertaken, without a vote of Unit Owners, provided that Board approval is first obtained. The foregoing, however, shall not negate the need for Unit Owner approval if Unit Owner approval is required in accordance with the initial paragraph of this Section 8.

9. The 4<sup>th</sup> sentence of the 1<sup>st</sup> paragraph of Section 17.8 of the Declaration entitled "Leases" is hereby amended to read as follows (with deleted text struck through and added text underlined):

No lease of a Residential Unit shall be for a period of less than thirty one (~~30~~1) days and no Residential Unit shall be leased more than ~~three~~ (~~3~~) twelve (12) times in any twelve (12) month period.

10. Section 20.3 of the Declaration entitled "Notices" is hereby amended to read as follows (with deleted text struck through and added text underlined):

20.3 Notices. Any holder, insurer or guarantor of a mortgage on a Unit shall have, ~~if first requested in writing,~~ the right to timely written notice of:

- (a) any condemnation or casualty loss affecting a material portion of the Condominium and/or Association Property or the affected mortgaged Unit;
- (b) a sixty (60) day delinquency in the payment of the Assessments and/or Impositions on a mortgaged Unit;



- (c) the occurrence of a lapse, cancellation or material modification of any insurance policy or fidelity bond maintained by the Association; and
- (d) any proposed action which requires the consent of a specified number of mortgage holders.

11. Section 25 of the Declaration is hereby amended and replaced in its entirety with the following Section 25:

25. Election Whether to Guarantee Assessments. ONLY THE CHECKED PROVISION SHALL BE APPLICABLE:

- ☒ Developer has elected to guarantee assessment as and to the extent provided in Section 13.7 above.
- ☐ Developer has elected not to guarantee assessments and the provisions of Section 13.7 shall not be applicable or effective.

\*\*\*Signatures contained on the following page\*\*\*



IN WITNESS WHEREOF, Developer has executed this Amendment to be effective as of the day and year first above written.

Signed in the presence of:

Alexandra McCauley  
Name: Alexandra McCauley

Carlos GARCIA  
Name: Carlos GARCIA

STATE OF FLORIDA )  
COUNTY OF MIAMI-DADE ) SS:

NGD-CENTRO, LLC, a Florida limited liability company

By: [Signature]  
Name: Harvey Hernandez  
Title: Manager

[CORPORATE SEAL]

Address: 1300 Brickell Bay Drive, Ste 400  
Miami, FL 33131

The foregoing Amendment was acknowledged before me, this 15th day of April, 2016, by Harvey Hernandez, as Manager of NGD-CENTRO, LLC, a Florida limited liability company, on behalf of said entity. He/She is personally known to me or has produced as identification.

[Signature]  
Name: M. Cristina De Castro

Notary Public, State of Florida  
Commission No.: FF011101

My Commission Expires: April 23, 2017

(Notarial Seal)

 **M CRISTINA DE CASTRO**  
MY COMMISSION #FF011101  
EXPIRES April 23, 2017  
FloridaNotaryService.com  
(407) 398-0153



# CENTRO, A CONDOMINIUM

LEGAL DESCRIPTION:

THE EAST 10.00 FEET OF LOT 16, ALL OF LOT 17, AND THE SOUTH 75.00 FEET OF LOTS 18, 19 AND 20, BLOCK 121 NORTH, CITY OF MIAMI, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK "B" AT PAGE 41, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LYING AND BEING IN SECTION 37, TOWNSHIP 53 SOUTH, RANGE 41 EAST, MIAMI-DADE COUNTY, FLORIDA.



EDC  
SURVEYING,  
INC.

FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC



# CENTRO, A CONDOMINIUM

STATE OF FLORIDA  
S.S.  
COUNTY OF MIAMI-DADE

BEFORE ME, the undersigned authority duly authorized to administer oaths and take acknowledgements, personally appeared Donald T. Ramsay, by me well known and known to me to be the person hereinafter described, who being by me first duly cautioned and sworn, deposes and says on oath as follows, to wit:

1. The undersigned, a Professional Surveyor and Mapper, duly authorized to practice under the laws of the State of Florida, hereby certifies that the construction of the Condominium is substantially complete such that this Exhibit "2", all pages inclusive, which is annexed and expressly made a part of the Declaration of Condominium of "Centro, a Condominium", together with provisions of the Declaration describing the condominium property, in addition to rights and restrictions, as they relate to matters of survey, in an accurate representation of the location and dimensions of the improvements, and so that the identification, location and dimensions of the Units, Common Elements, Limited Common Elements and Residential Limited Common Elements can be determined from these materials.
2. That the improvements represented hereon are have been constructed, inspected, measured, and is certified as "substantially" completed in accordance with the provisions of Florida Statute 718.104.
3. That the architectural plans that EDC Surveying, Inc. used in the preparation of this Exhibit 2, were prepared by Arquitectonica, 2900 Oak Avenue, Miami, Florida 33133, USA, T: (305) 372 1812.
4. That the elevations shown for each floor are based on N.G.V.D., 1929.

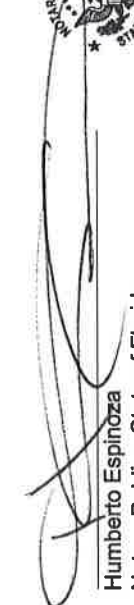
FURTHER AFFIANT SAYETH NAUGHT.

EDC SURVEYING, INC.

  
\_\_\_\_\_  
DONALD T. RAMSAY, VICE PRESIDENT  
Professional Surveyor and Mapper, #5851  
State of Florida.

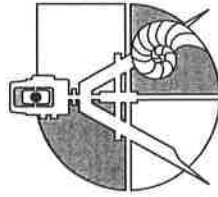
STATE OF FLORIDA  
COUNTY OF MIAMI DADE

The foregoing instrument was acknowledged before me this 20 day of April, 2016 by  
Donald T. Ramsay, who is personally known to me and did take an oath.

  
Humberto Espinoza  
Notary Public - State of Florida  
Commission No: FF913001  
My Commission Expires: August 25, 2019

  
HUMBERTO ESPINOZA  
MY COMMISSION # FF 913001  
EXPIRES: August 25, 2019  
Bonded Thru Budget Notary Services

PREPARED FOR:  
NGD-CENTRO, LLC



EDC  
SURVEYING,  
INC.



PH: (954)444-9274  
FLORIDA L.B. Reg. No. 7368

## CENTRO, A CONDOMINIUM

### SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THAT IN MY PROFESSIONAL OPINION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE ATTACHED "BOUNDARY SURVEY" IS TRUE AND CORRECT AS RECENTLY SURVEYED UNDER MY DIRECTION AND ALSO THAT THIS "BOUNDARY SURVEY" CONFORMS WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 53-17 OF THE FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES, AND THAT THE ATTACHED SURVEY, TOGETHER WITH EXHIBIT "2" OF THE DECLARATION OF CONDOMINIUM, THAT THE IMPROVEMENTS REPRESENTED HEREIN ARE "SUBSTANTIALLY" COMPLETED. THIS SURVEY AND THE SKETCHES AND FLOOR PLANS IN EXHIBIT "2" OF THE DECLARATION MEET THE REQUIREMENTS OF THE FLORIDA CONDOMINIUM ACT.

  
DONALD T. RAMSAY  
PROFESSIONAL SURVEYOR AND MAPPER  
CERTIFICATE NO. 5851  
STATE OF FLORIDA



EDC  
SURVEYING,  
INC.

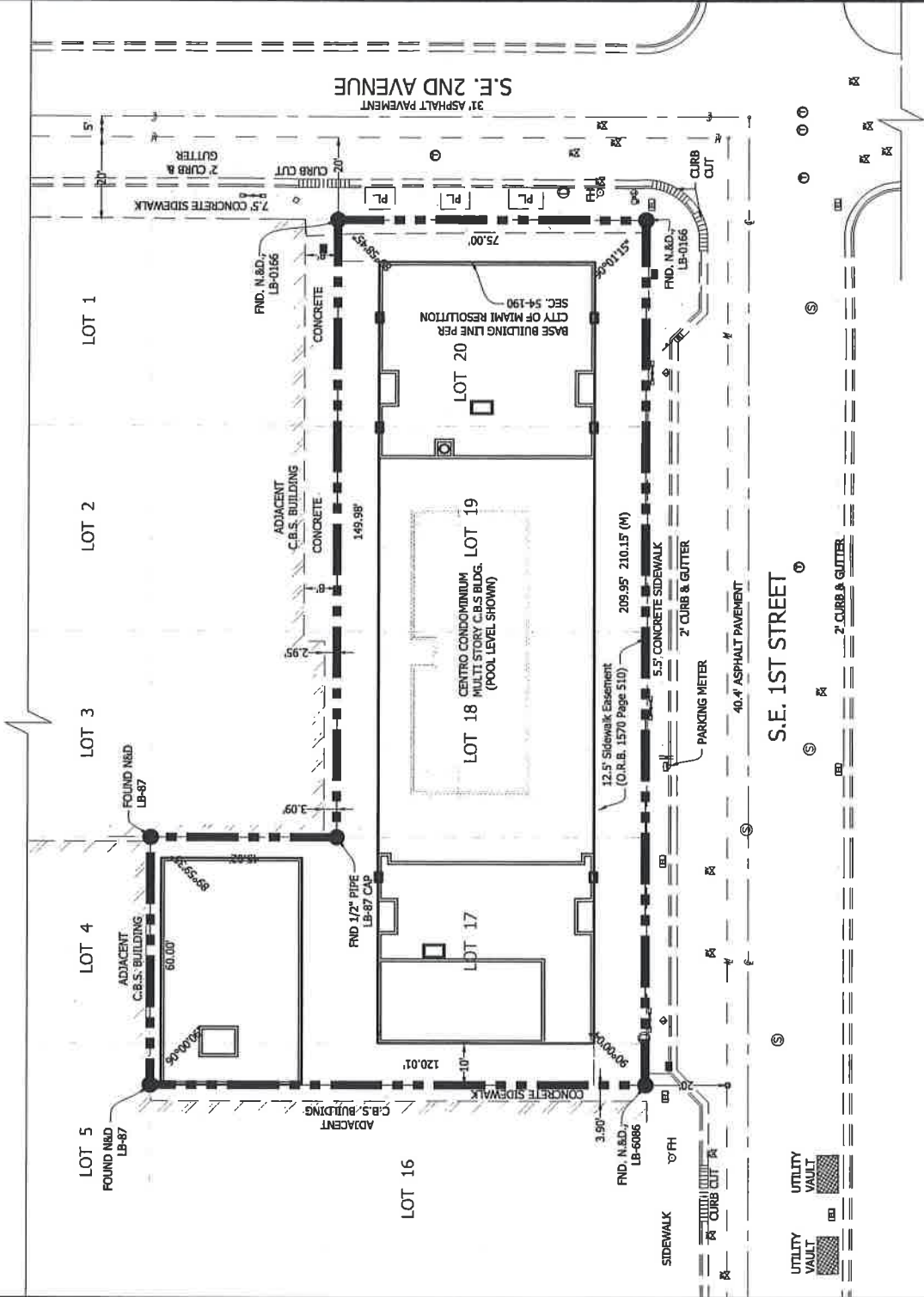
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

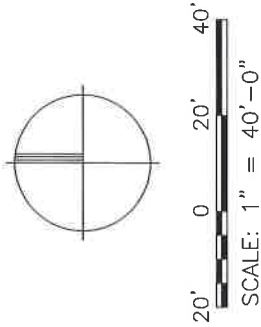


EXHIBIT 2      SURVEYOR'S CERTIFICATION

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016  
PREPARED FOR:  
NGD-CENTRO, LLC



# CENTRO, A CONDOMINIUM

## SURVEY NOTES:

1. PROPERTY SHOWN HEREON FALLS WITHIN FEDERAL FLOOD HAZARD ZONES "X" PER F.I.R.M. COMMUNITY PANEL NO. 120650, MAP NO. 12086C0314L, DATED SEPTEMBER 11, 2009.
2. ELEVATIONS SHOWN ARE BASED ON A CLOSED LEVEL LOOP USING THIRD ORDER PROCEDURE AND ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.).
3. ALL STRUCTURAL COLUMNS AND LOAD BEARING WALLS LOCATED WITHIN A CONDOMINIUM UNIT CONSTITUTE A PART OF THE COMMON ELEMENTS (C.E.).
4. ALL LANDS AND ALL PORTIONS OF THE CONDOMINIUM BUILDING OR OTHER IMPROVEMENTS NOT DESIGNATED AS LIMITED COMMON ELEMENTS, RESIDENTIAL LIMITED COMMON ELEMENTS OR LOCATED WITHIN THE CONFINES OF A CONDOMINIUM UNIT ARE COMMON ELEMENTS.
5. FOR A DEFINITION OF COMMON ELEMENTS, RESIDENTIAL LIMITED COMMON ELEMENTS AND LIMITED COMMON ELEMENTS, REFER TO THE DECLARATION.
6. FOR UNIT BOUNDARIES, REFER TO THE DECLARATION.
7. THERE ARE NO VISIBLE ENCROACHMENTS, OTHER THAN THOSE SHOWN HEREON.
8. VISIBLE INDICATORS OF UTILITIES ARE SHOWN HEREON, HOWEVER, NO ATTEMPT WAS MADE TO LOCATE UNDERGROUND ITEMS.
9. GIVEN THE NATURE OF CONDOMINIUM OWNERSHIP, THE UNIT BOUNDARIES ARE PRECISELY DEFINED IN SUCH A MANNER SO THAT ALL COMPONENTS OF THE BUILDING WHICH ARE (OR ARE POTENTIALLY) UTILIZED EITHER BY OTHER UNITS OR THE COMMON ELEMENTS ARE EXCLUDED FROM THE UNIT. THIS SHOULD EXCLUDE, FOR INSTANCE, ALL STRUCTURAL WALLS AND COLUMNS ESSENTIALLY LIMITS THE UNIT BOUNDARIES TO THE INTERIOR AIRSPACE BETWEEN THE PERIMETER WALLS AND EXCLUDES ALL INTERIOR STRUCTURAL COMPONENTS. FOR THE PRECISE UNIT BOUNDARIES, SEE SECTION 3.2 OF THE DECLARATION. FOR YOUR REFERENCE, THE AREA OF THE UNIT, DETERMINED IN ACCORDANCE WITH THESE DEFINED UNIT BOUNDARIES, IS SET FORTH IN THIS EXHIBIT 2 (AND LABELED AS "UNIT AREA"). PLEASE NOTE THAT THE UNIQUE WAY OF DEFINING THE BOUNDARIES ACTUALLY MAKES THE UNIT APPEAR TO BE SMALLER THAN IT ACTUALLY WOULD BE IF STANDARD ARCHITECTURAL MEASURING TECHNIQUES WERE USED. TYPICALLY, APARTMENTS ARE MEASURED TO THE EXTERIOR BOUNDARIES OF THE EXTERIOR WALLS AND TO THE CENTERLINE OF INTERIOR DEMISING WALLS, WITHOUT EXCLUDING AREAS THAT MAY BE OCCUPIED BY COLUMNS OR OTHER STRUCTURAL COMPONENTS. THE AREA, IF CALCULATED BASED UPON STANDARD ARCHITECTURAL MEASURING TECHNIQUES, IS ALSO SET FORTH IN THIS EXHIBIT 2 (AND LABELED AS "TYPICAL AREA"). THE TYPICAL AREA IS PROVIDED SOLELY TO ESTABLISH A FRAME OF REFERENCE AND IS NOT INTENDED TO SUGGEST THAT THE ACTUAL UNIT IS THAT SIZE. IN FACT, AS SET FORTH ABOVE, MANY OF THE COMPONENTS INCLUDED IN DETERMINING THE TYPICAL AREA, ARE COMMON ELEMENTS THAT ARE NOT EXCLUSIVELY OWNED. THE SQUARE FOOTAGE SHOWN REPRESENTS AN AVERAGE OF EACH UNIT TYPE AND THERE MAY BE VARIANCES. THEY ARE BASED ON THE SIEGER SUAREZ ARCHITECTURAL PARTNERSHIP'S ARCHITECTURAL PLANS AS SHOWN AND PROVIDED BY THE CLIENT. THE TOTAL UNIT AREA IS 229,844 SQUARE FEET.
10. UNLESS OTHERWISE NOTED RECORD AND MEASURED DATA ARE IN SUBSTANTIAL AGREEMENT.
11. UNDERGROUND FOUNDATIONS, IF ANY HAVE NOT BEEN DETERMINED.
12. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
13. THE DISTANCES SHOWN ALONG THE PROPERTY LINES HEREON ARE RECORD AND MEASURED, UNLESS NOTED OTHERWISE.
14. ANY APPLICABLE BUILDING SETBACK LINES AFFECTING THE SUBJECT PROPERTY ARE BASED ON AN APPROVED SITE PLAN PREPARED BY A QUALIFIED ARCHITECT AND ARE NOT SHOWN HEREON.
15. BENCHMARK A: PK NAIL & BRASS WASHER ON TOP OF CURB AT N.W. CORNER OF FLAGLER STREET & N.E. 2ND AVENUE. ELEVATION=12.095 CITY OF MIAMI DATUM (11.84 N.G.V.D.)
16. BENCHMARK B: PK NAIL & BRASS WASHER AT N.E. CORNER OF S.E. 2ND STREET & S.E. 2ND AVENUE. ELEVATION=10.592 CITY OF MIAMI DATUM (10.33 N.G.V.D.)



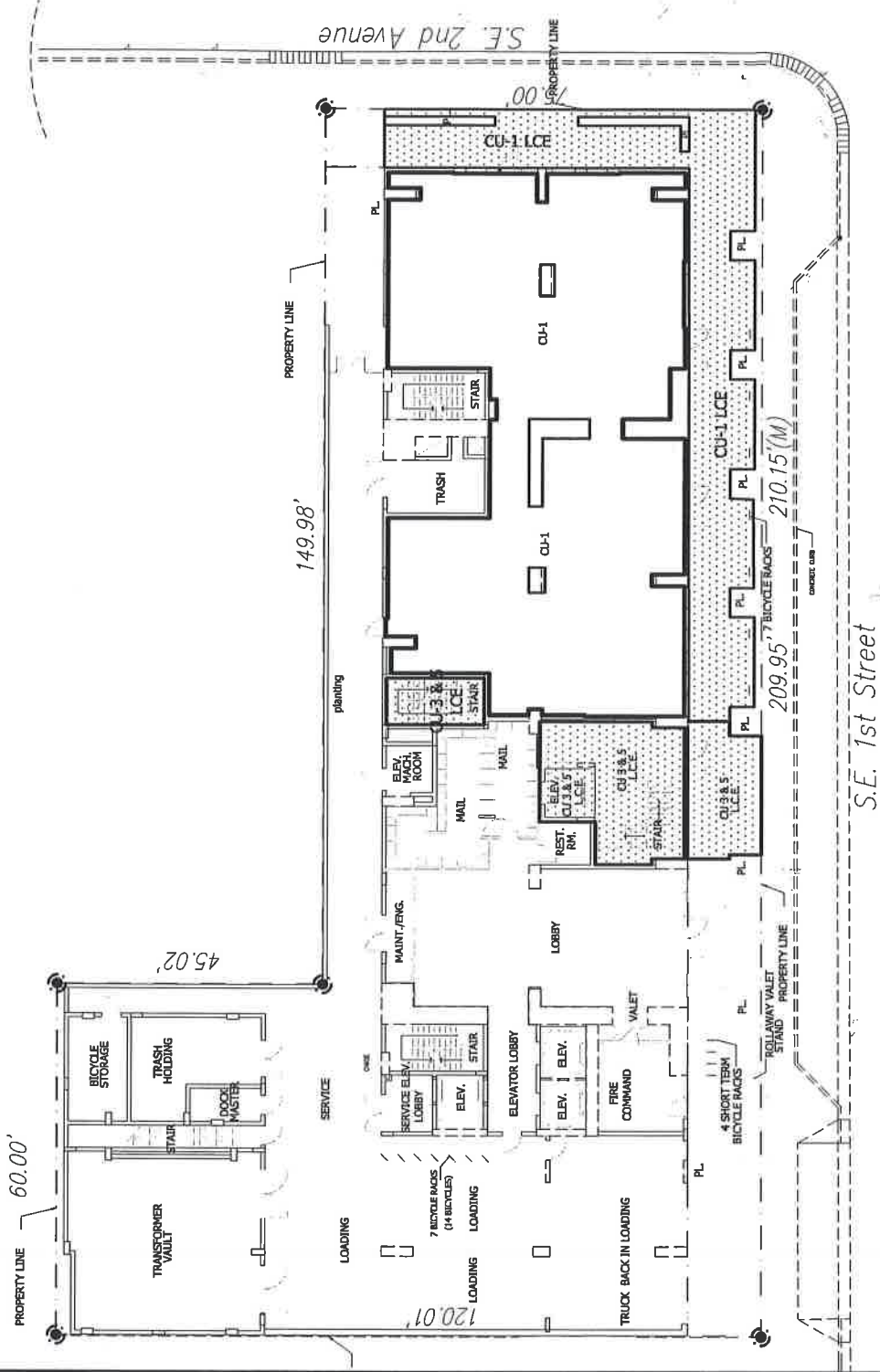
EDC  
SURVEYING,  
INC.

FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC



CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS FOR COMMERCIAL UNITS

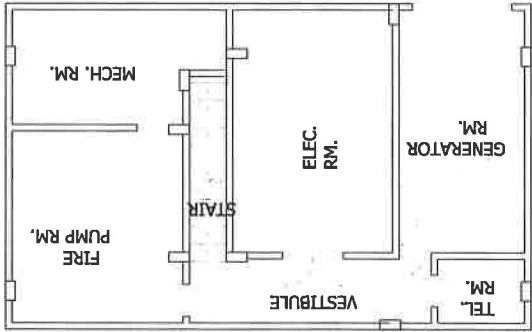
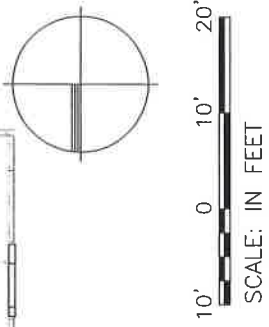
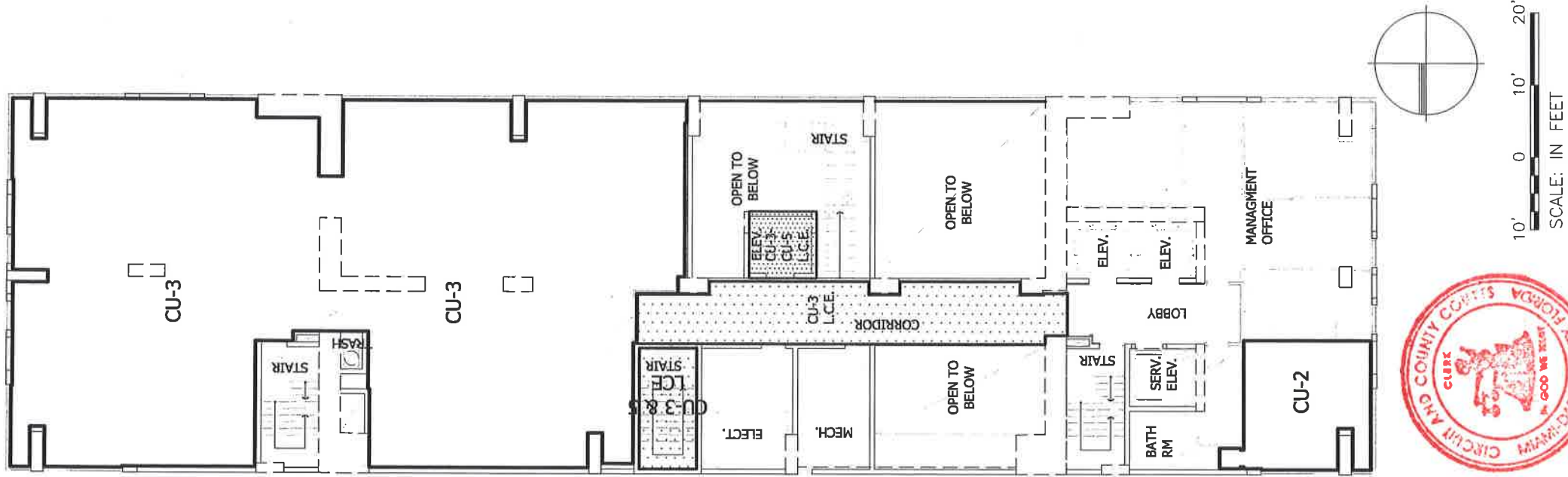
NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium. Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements. Other than those areas depicted as Commercial Unit (i.e., CU-) or Limited Common Element, all improvements on this sheet are Common Elements.

Exhibit 2  
-SCHEDULE 2-

GROUND LEVEL FLOOR PLAN

CENTRO, A CONDOMINIUM



FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

- LEGEND:
- CONDOMINIUM UNIT BOUNDARY LINE
  - - - COMMON ELEMENT LINE
  - [Stippled Box] LIMITED COMMON ELEMENTS FOR COMMERCIAL UNITS

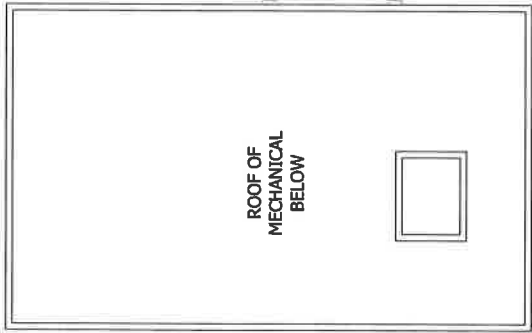
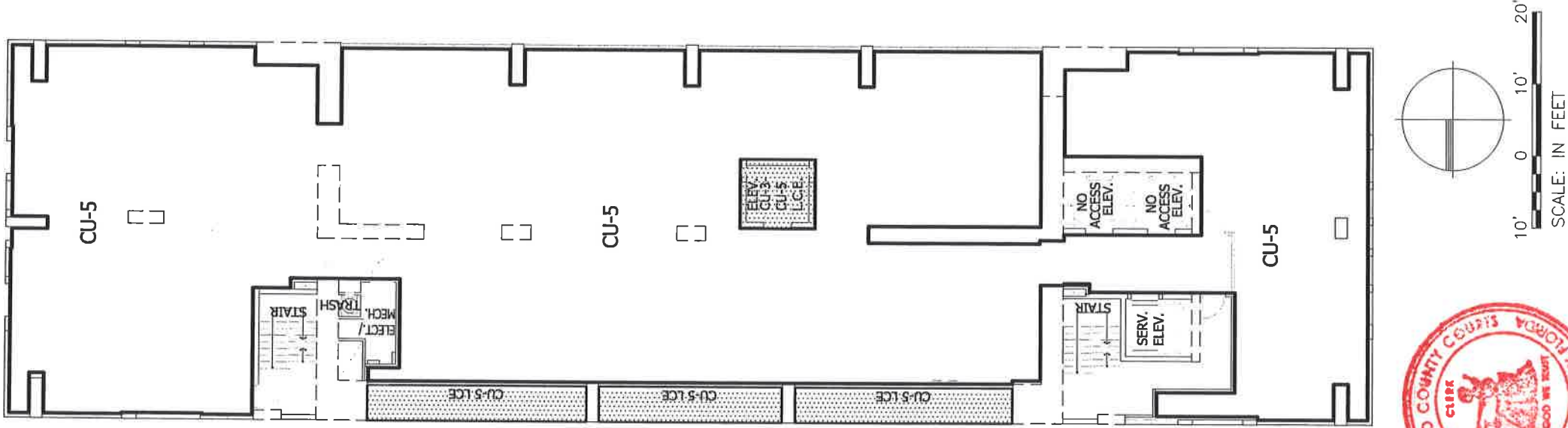
NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium. Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements. Other than those areas depicted as Commercial Unit (i.e., CU-) or Limited Common Element, all improvements on this sheet are Common Elements.

Exhibit 2  
**SCHEDULE-2**

**2ND LEVEL FLOOR PLAN**

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016  
PREPARED FOR:  
NGD-CENTRO, LLC

- LEGEND:
- CONDOMINIUM UNIT BOUNDARY LINE
  - COMMON ELEMENT LINE
  - LIMITED COMMON ELEMENTS FOR COMMERCIAL UNITS



NOTES:

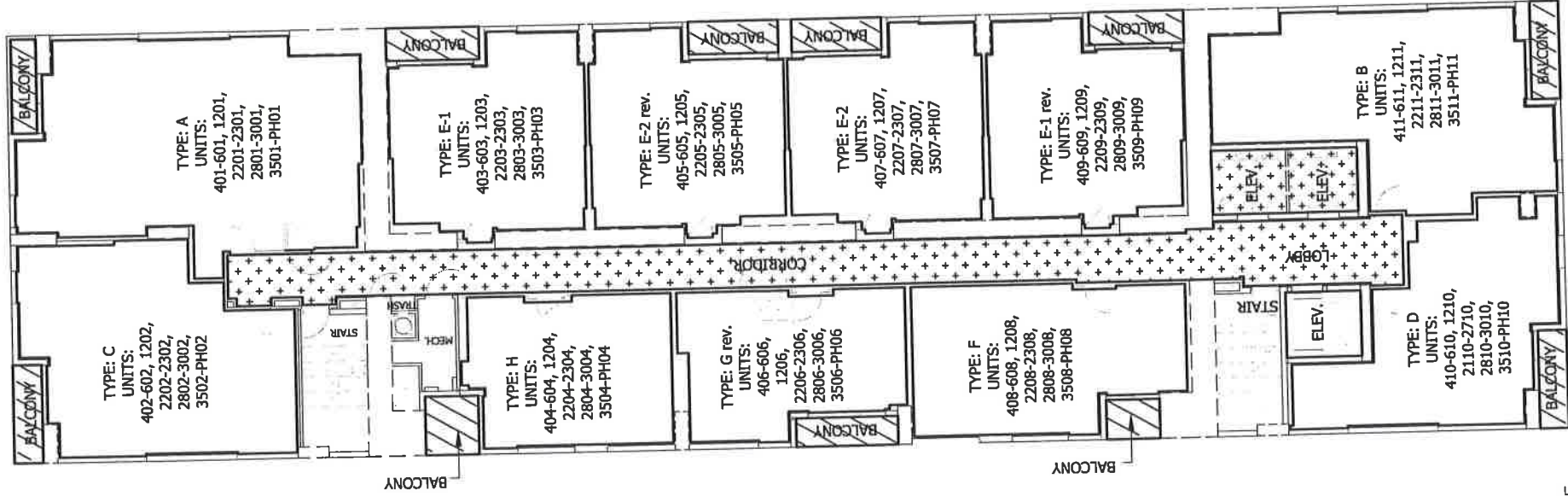
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium. Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements. Other than those areas depicted as Commercial Unit (i.e., CU-) or Limited Common Element, all improvements on this sheet are Common Elements.

Exhibit 2

SCHEDULE 2

3RD LEVEL FLOOR PLAN

CENTRO, A CONDOMINIUM

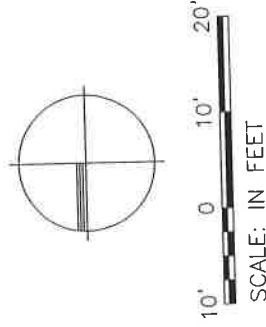


FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS
- RESIDENTIAL LIMITED COMMON ELEMENTS



NOTES:

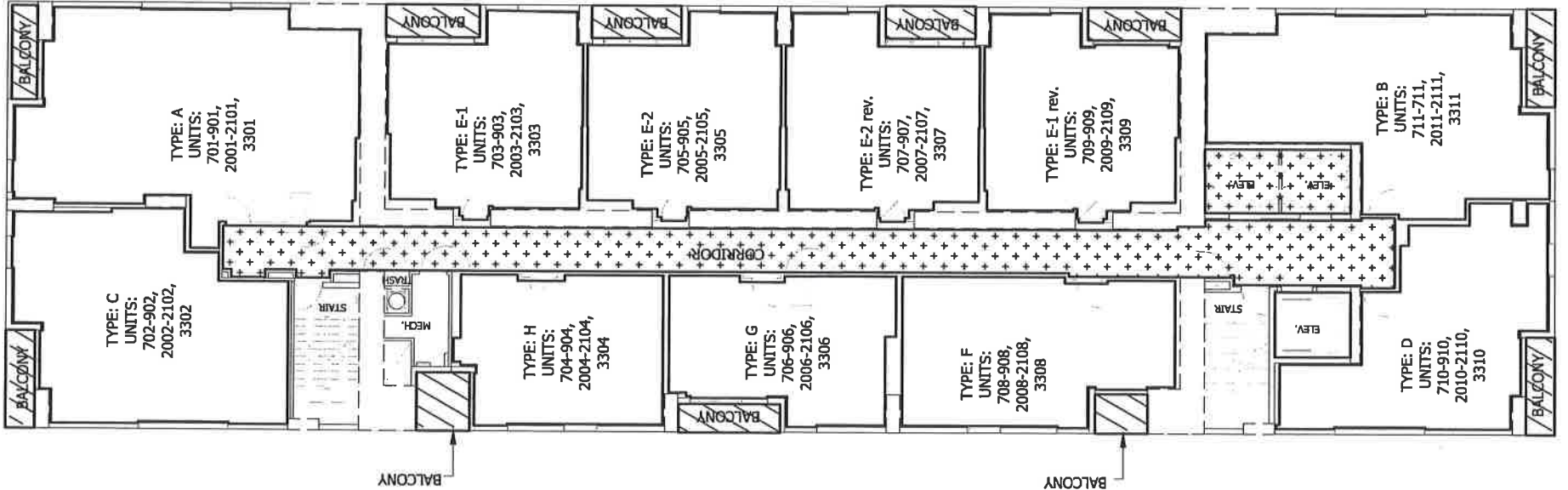
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium. Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements. Other than those areas depicted as Units, Limited Common Element or Residential Limited Common Elements, all improvements on this sheet are Common Elements.



4TH-6TH, 12TH, 22ND-23RD, 28TH-30TH &  
35TH-PH LEVELS FLOOR PLAN  
(13TH LEVEL EXCLUDED)

Exhibit 2  
**SCHEDULE 2**

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016  
PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE



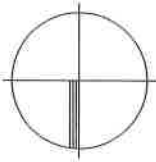
LIMITED COMMON ELEMENTS



RESIDENTIAL LIMITED COMMON ELEMENTS

NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium. Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements. Other than those areas depicted as Units, Limited Common Element or Residential Limited Common Elements, all improvements on this sheet are Common Elements.



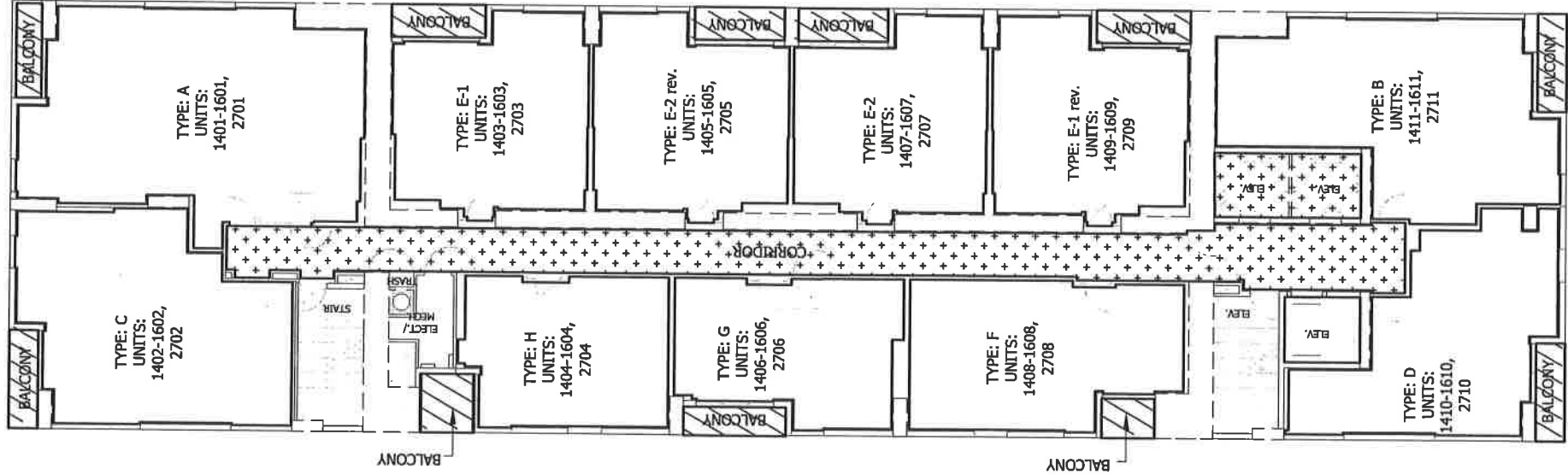
7TH-9TH, 20TH-21ST & 33RD  
LEVELS FLOOR PLAN  
(13TH LEVEL EXCLUDED)

Exhibit 2  
SCHEDULE 2





CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE



NOTES:

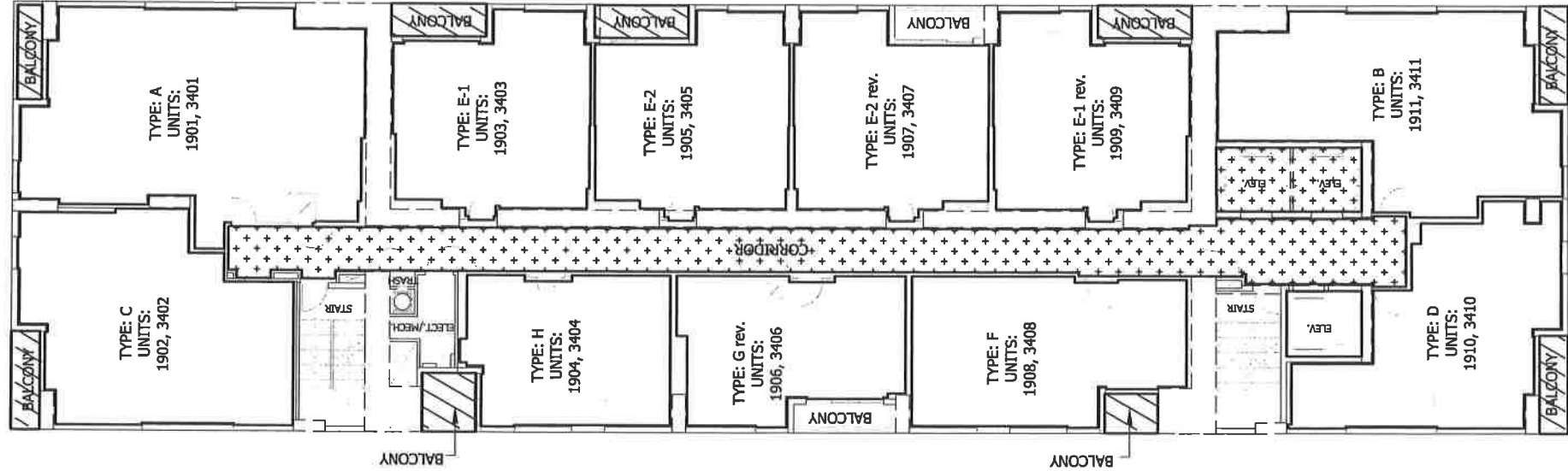
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium. Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements. Other than those areas depicted as Units, Limited Common Element or Residential Limited Common Elements, all improvements on this sheet are Common Elements.



14TH-16TH & 27TH  
LEVELS FLOOR PLAN  
(13TH LEVEL EXCLUDED)

Exhibit 2  
SCHEDULE 2

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

— CONDOMINIUM UNIT  
BOUNDARY LINE

- - - COMMON ELEMENT LINE



LIMITED COMMON  
ELEMENTS



RESIDENTIAL LIMITED  
COMMON ELEMENTS

NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium. Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements. Other than those areas depicted as Units, Limited Common Element or Residential Limited Common Elements, all improvements on this sheet are Common Elements.

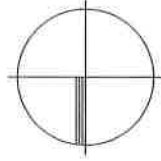
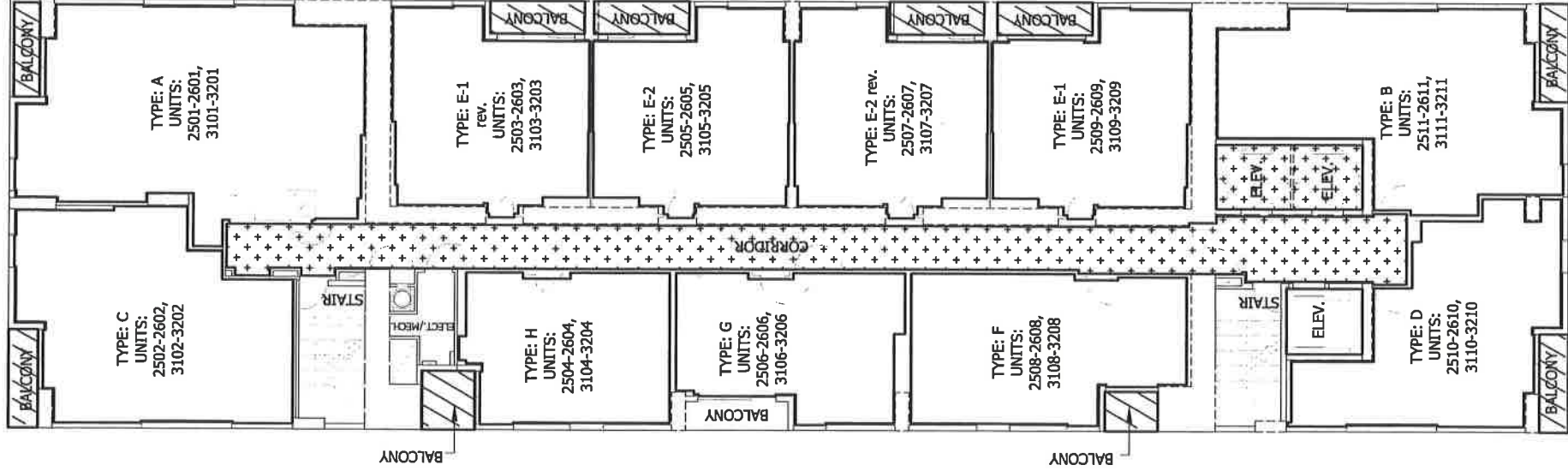


Exhibit 2  
SCHEDULE 2

19TH & 34TH  
LEVELS FLOOR PLAN  
(13TH LEVEL EXCLUDED)



# CENTRO, A CONDOMINIUM



LEGEND:

CONDOMINIUM UNIT  
BOUNDARY LINE

COMMON ELEMENT LINE

LIMITED COMMON  
ELEMENTSRESIDENTIAL LIMITED  
COMMON ELEMENTS

NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium. Columns, structural walls and perimeter structures are Common Elements.

Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements.

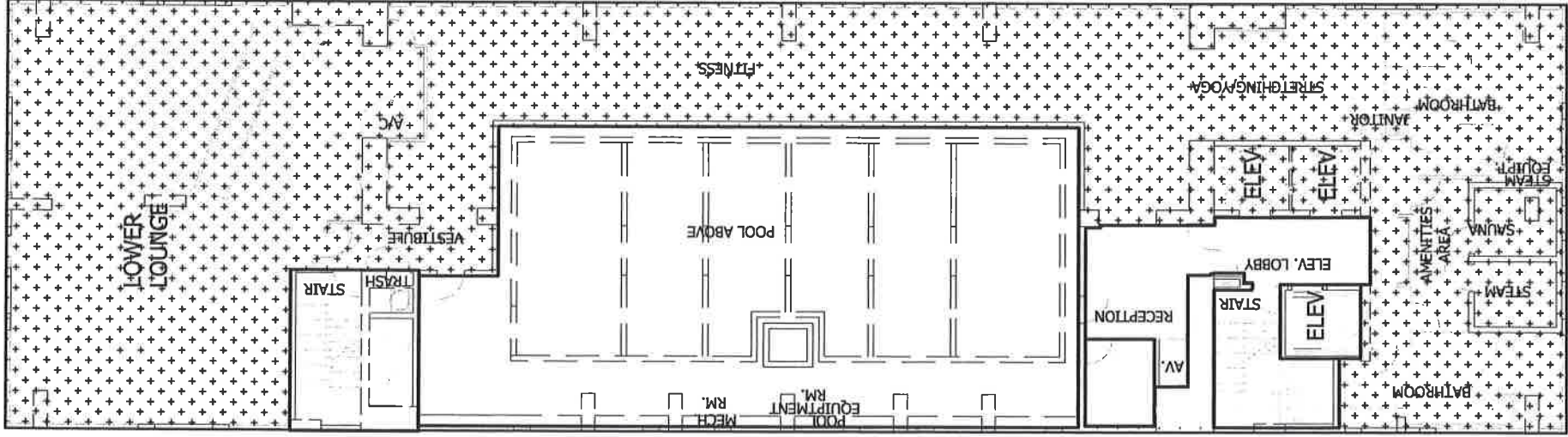
Other than those areas depicted as Units, Limited Common Element or Residential Limited Common Elements, all improvements on this sheet are Common Elements.



**25TH-26TH & 31ST-32ND  
LEVELS FLOOR PLAN  
(13TH LEVEL EXCLUDED)**

Exhibit 2  
~~SCHEDULE 2~~

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE



RESIDENTIAL LIMITED  
COMMON ELEMENTS



LIMITED COMMON  
ELEMENTS FOR  
COMMERCIAL UNITS

NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium. Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements. Other than those areas depicted as Units, Limited Common Element or Residential Common Elements, all improvements on this sheet are Common Elements.

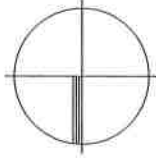
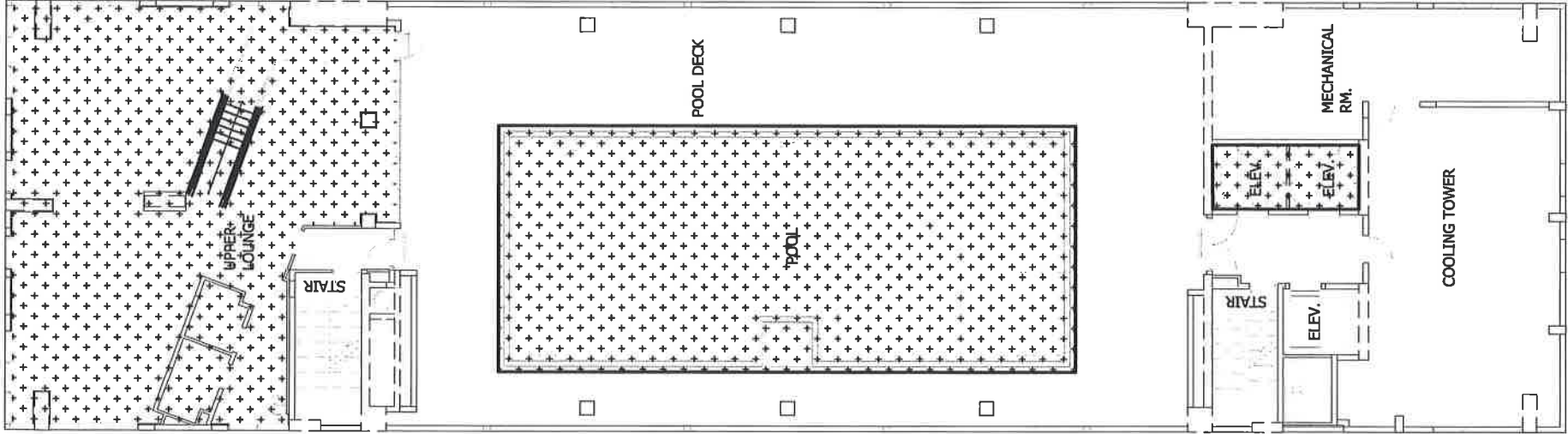


Exhibit 2  
SCHEDULE 2

37TH LEVEL FLOOR PLAN

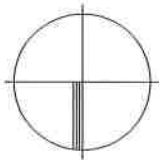
CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

- LEGEND:
- CONDOMINIUM UNIT BOUNDARY LINE
  - COMMON ELEMENT LINE
  - RESIDENTIAL LIMITED COMMON ELEMENTS



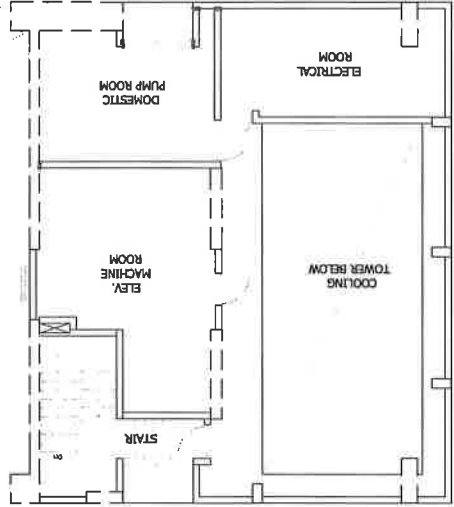
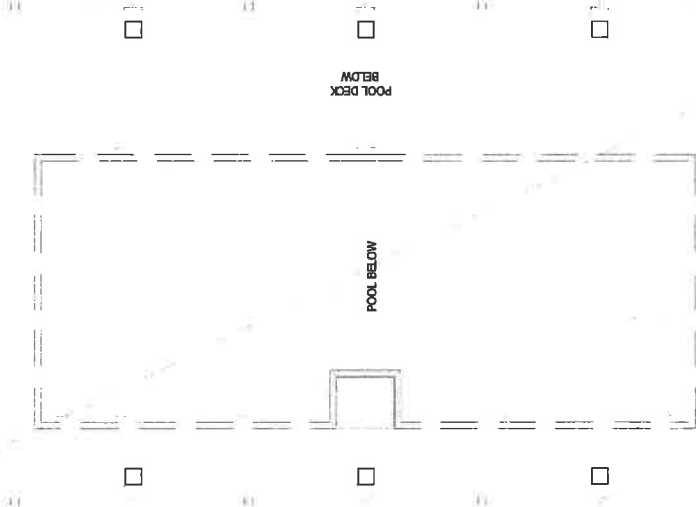
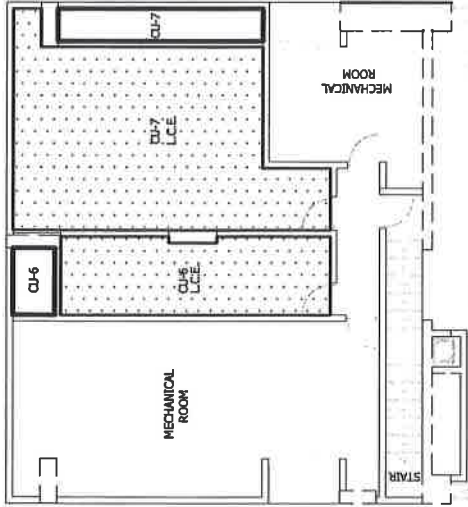
10' 0 10' 20'  
SCALE: IN FEET

NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium. Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements. Other than those areas depicted as Units, Limited Common Element or Residential Common Elements, all improvements on this sheet are Common Elements.



CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

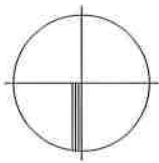
PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS FOR COMMERCIAL UNITS

NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium. Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements. Other than those areas depicted as Units, Limited Common Element or Residential Common Elements, all improvements on this sheet are Common Elements.



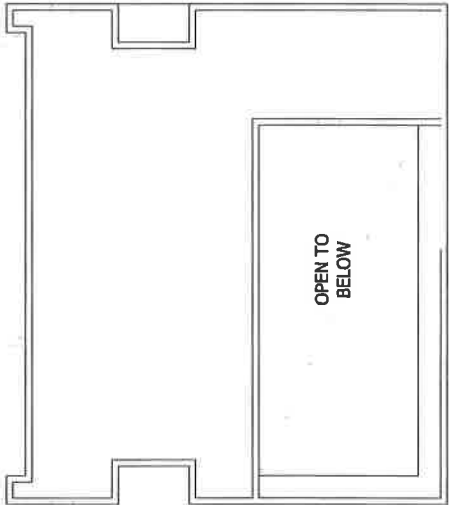
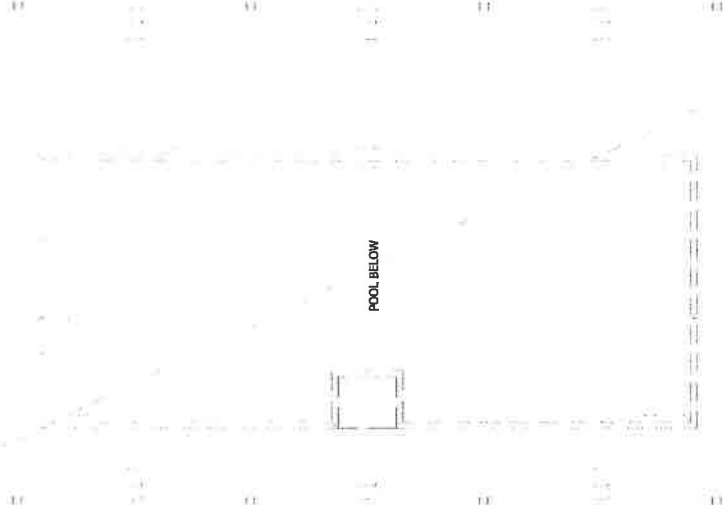
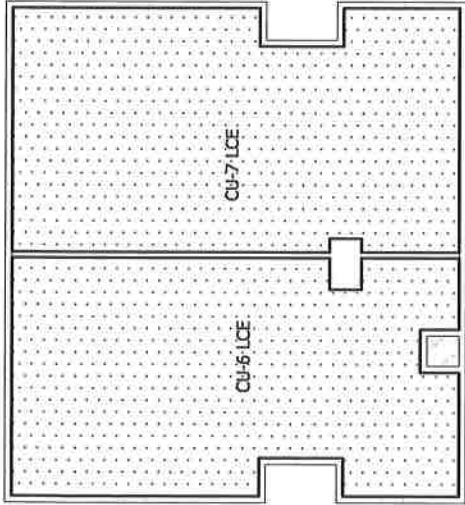
10' 0 10' 20'  
SCALE: IN FEET



Exhibit 2  
SCHEDULE 2

39TH LEVEL FLOOR PLAN

CENTRO, A CONDOMINIUM

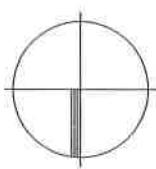


EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT  
BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON  
ELEMENTS FOR  
COMMERCIAL UNITS



10' 0 10' 20'  
SCALE: IN FEET

NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium. Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements. Other than those areas depicted as Units, Limited Common Element or Residential Limited Common Elements, all improvements on this sheet are Common Elements.

Exhibit 2  
SCHEDULE 2

ROOF LEVEL FLOOR PLAN



CENTRO, A CONDOMINIUM

|                                    |                                         |
|------------------------------------|-----------------------------------------|
|                                    | 25TH LEVEL<br>+256'-8"                  |
| MATCHLINE                          |                                         |
|                                    | 24TH LEVEL<br>+246'-0"                  |
|                                    | 23RD LEVEL<br>+235'-4"                  |
|                                    | 22ND LEVEL<br>+224'-8"                  |
|                                    | 21ST LEVEL<br>+214'-0"                  |
|                                    | 20TH LEVEL<br>+203'-4"                  |
|                                    | 19TH LEVEL<br>+192'-8"                  |
|                                    | 18TH LEVEL<br>+182'-0"                  |
|                                    | 17TH LEVEL<br>+171'-4"                  |
|                                    | 16TH LEVEL<br>+160'-8"                  |
|                                    | 15TH LEVEL<br>+150'-0"                  |
|                                    | 14TH LEVEL<br>+139'-4"                  |
|                                    | 12TH LEVEL<br>+128'-8"                  |
|                                    | 11TH LEVEL<br>+118'-0"                  |
|                                    | 10TH LEVEL<br>+107'-4"                  |
|                                    | 9TH LEVEL<br>+96'-8"                    |
|                                    | 8TH LEVEL<br>+86'-0"                    |
|                                    | 7TH LEVEL<br>+75'-4"                    |
|                                    | 6TH LEVEL<br>+64'-8"                    |
|                                    | 5TH LEVEL<br>+54'-0"                    |
|                                    | 4TH LEVEL<br>+43'-4"                    |
|                                    | 3RD LEVEL<br>+28'-10"<br>canopy level   |
|                                    | 2ND LEVEL<br>+16'-4"                    |
|                                    | LOBBY LEVEL<br>+0'-0" (+11.0' N.G.V.D.) |
| TOP OF ENCLOSURE<br>+426'-8"       |                                         |
| 39TH LEVEL<br>+417'-2"             |                                         |
| 38TH LEVEL - MAIN ROOF<br>+400'-0" |                                         |
| 37TH LEVEL<br>+388'-0"             |                                         |
| PH LEVEL<br>+374'-0"               |                                         |
| 35TH LEVEL<br>+363'-4"             |                                         |
| 34TH LEVEL<br>+352'-8"             |                                         |
| 33RD LEVEL<br>+342'-0"             |                                         |
| 32ND LEVEL<br>+331'-4"             |                                         |
| 31ST LEVEL<br>+320'-8"             |                                         |
| 30TH LEVEL<br>+310'-0"             |                                         |
| 29TH LEVEL<br>+299'-4"             |                                         |
| 28TH LEVEL<br>+288'-8"             |                                         |
| 27TH LEVEL<br>+278'-0"             |                                         |
| 26TH LEVEL<br>+267'-4"             |                                         |
| MATCHLINE                          |                                         |
| 25TH LEVEL<br>+256'-8"             |                                         |
| 24TH LEVEL<br>+246'-0"             |                                         |



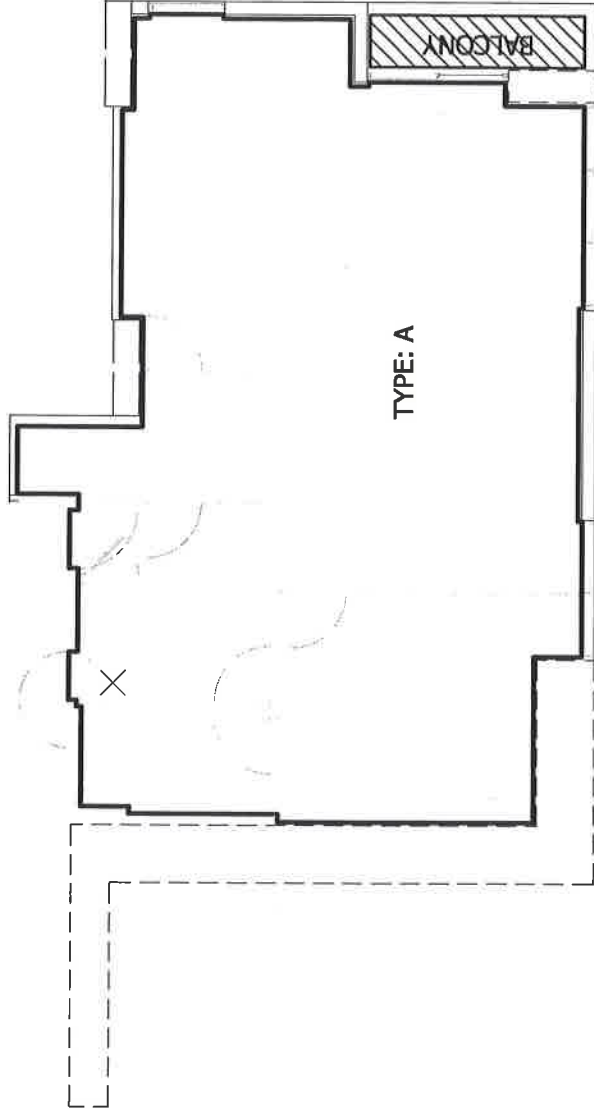
EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC  
**EXHIBIT 2**



ELEVATION PROFILE

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS



NOTES:

All balconies are Residential Limited Common Elements.  
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium.  
Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

Unit Area: 977 sq.ft. +/-, Typical Area: 1,131 sq.ft. +/-.

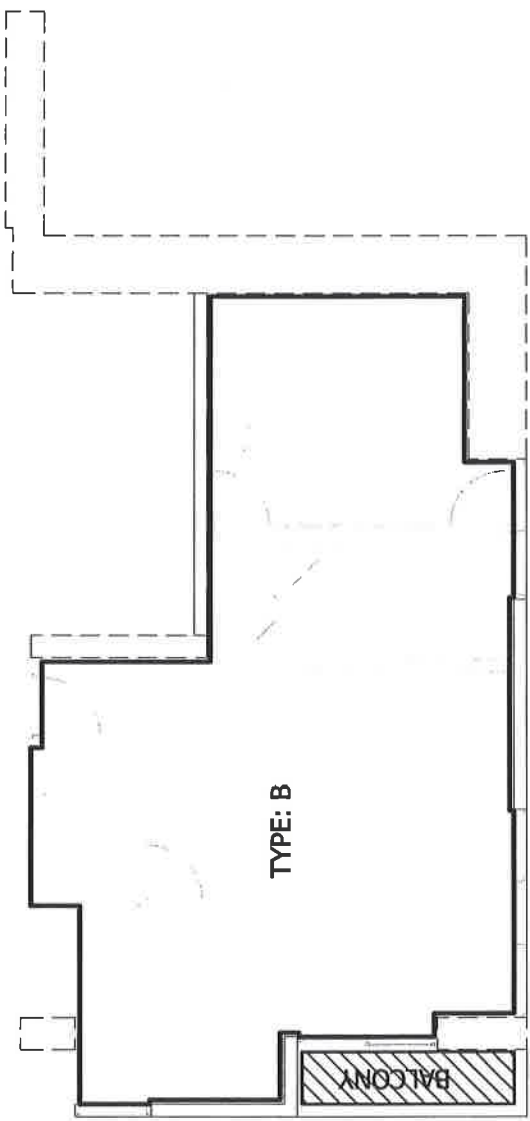
(For more details regarding square footage see Note # 9 of Surveyor's Notes page)



Exhibit 2  
SCHEDULE B

TYPE A  
UNIT: 401-1201, 1401-PH01

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT
- BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS



NOTES:

All balconies are Residential Limited Common Elements.  
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium.  
Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

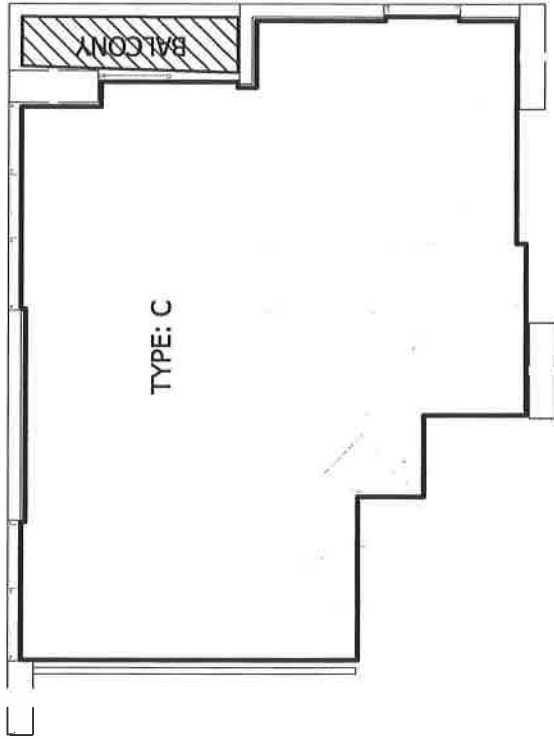
Unit Area: 791 sq.ft. +/-, Typical Area: 920 sq.ft. +/-.  
(For more details regarding square footage see Note # 9 of Surveyor's Notes page(s)).



Exhibit 2  
SCHEDULE-B

TYPE B  
UNIT: 411-1211, 1411-PH11

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT  
BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS



NOTES:

All balconies are Residential Limited Common Elements.  
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium.  
Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

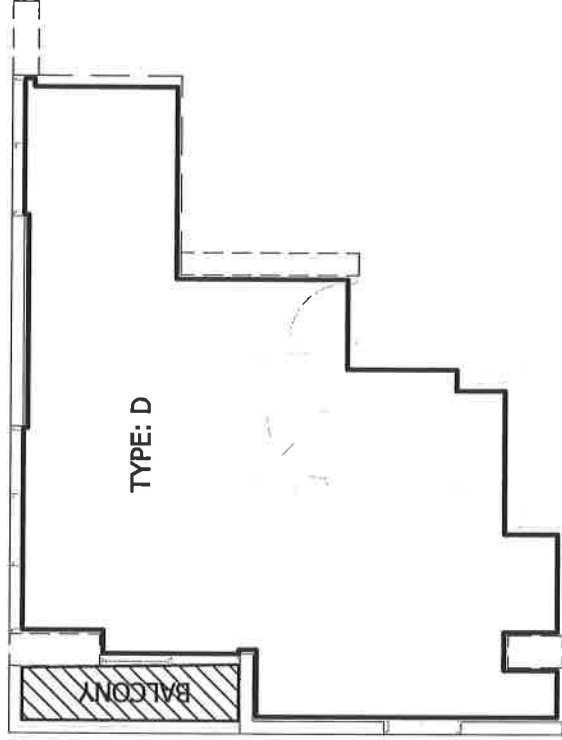
Unit Area: 736 sq.ft. +/-, Typical Area: 822 sq.ft. +/-.  
(For more details regarding square footage see Note # 9 of Surveyor's Notes page.)



Exhibit 2  
~~SCHEDULE B~~

TYPE C  
UNIT: 402-1202, 1402-PH02

CENTRO, A CONDOMINIUM



FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS



NOTES:

All balconies are Residential Limited Common Elements.  
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium.  
Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

Unit Area: 607 sq.ft. +/-, Typical Area: 691 sq.ft. +/-.

(For more details regarding square footage see Note # 9 of Surveyor's Notes page 10)

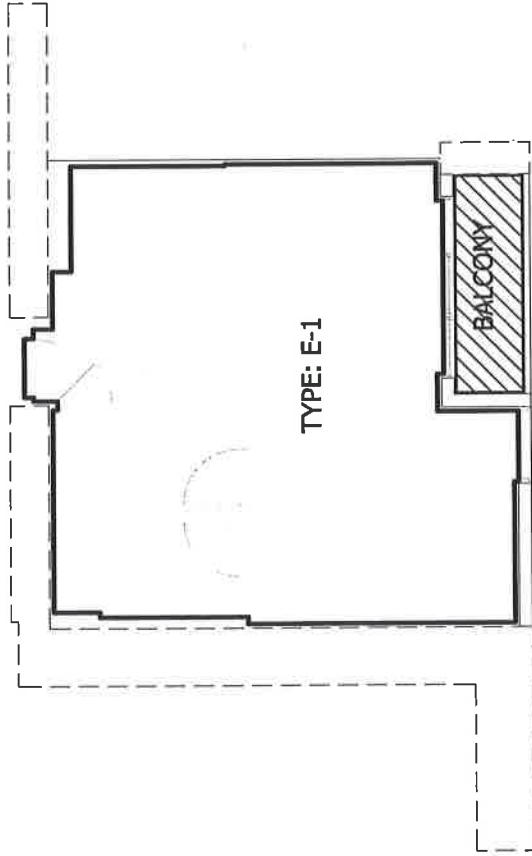


Exhibit Z

~~SCHEDULE B~~

TYPE D  
UNIT: 410-1210, 1410-PH10

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE
-  LIMITED COMMON ELEMENTS



NOTES:

All balconies are Residential Limited Common Elements.  
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium.  
Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

Unit Area: 533 sq.ft. +/-, Typical Area: 654 sq.ft. +/-.  
(For more details regarding square footage see Note # 9 of Surveyor's Notes page).

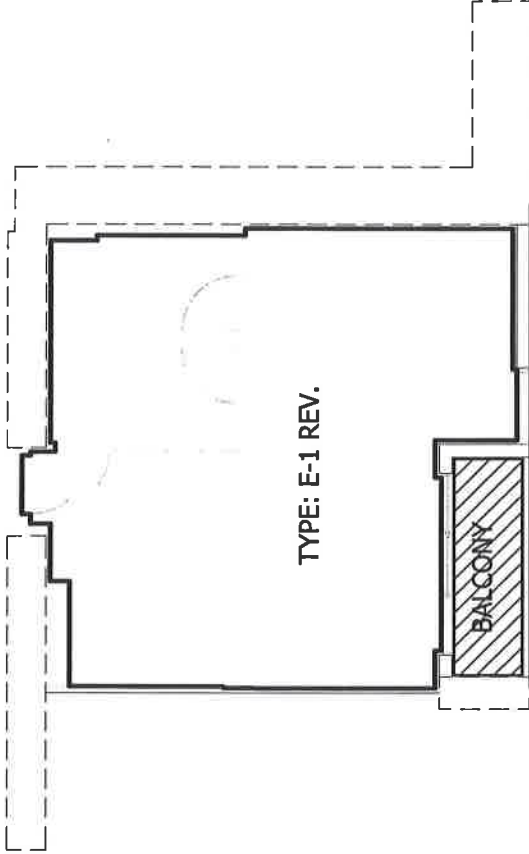


TYPE: E-1

UNITS: 403-903, 1203, 1403-1603,  
1903-2303, 2703-3003 & 3303-PH03,  
1009-1109, 1709-1809, 2409-2609 &  
3109-3209

Exhibit 2  
~~SCHEDULE B~~

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT  
BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS

NOTES:

All balconies are Residential Limited Common Elements.  
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium.  
Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

Unit Area: 533 sq.ft. +/-, Typical Area: 654 sq.ft. +/-.  
(For more details regarding square footage see Note # 9 of Surveyor's Notes page).

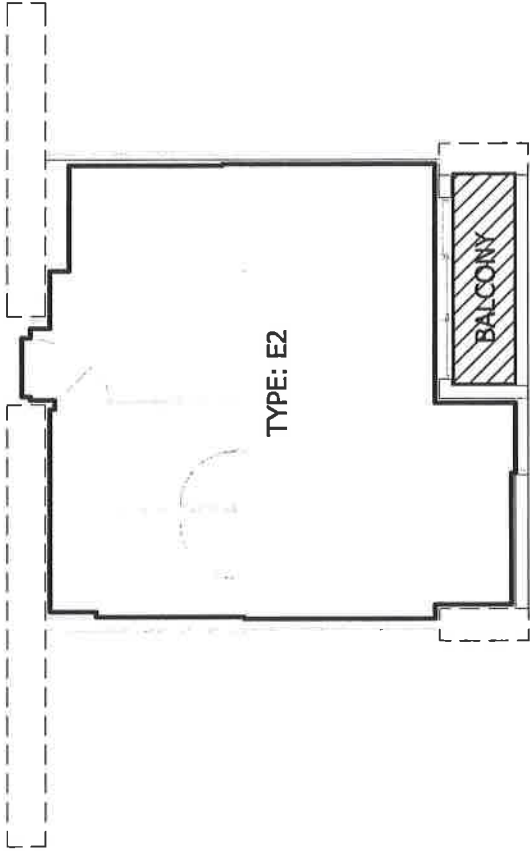
TYPE: E-1 rev.

UNITS: 409-909, 1209, 1409-1609,  
1909-2309, 2709-3009 & 3309-PH09,  
1003-1103, 1703-1803, 2403-2603 &  
3103-3203

Exhibit 2  
SCHEDULE B



CENTRO, A CONDOMINIUM



FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS



NOTES:

All balconies are Residential Limited Common Elements.  
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium.  
Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

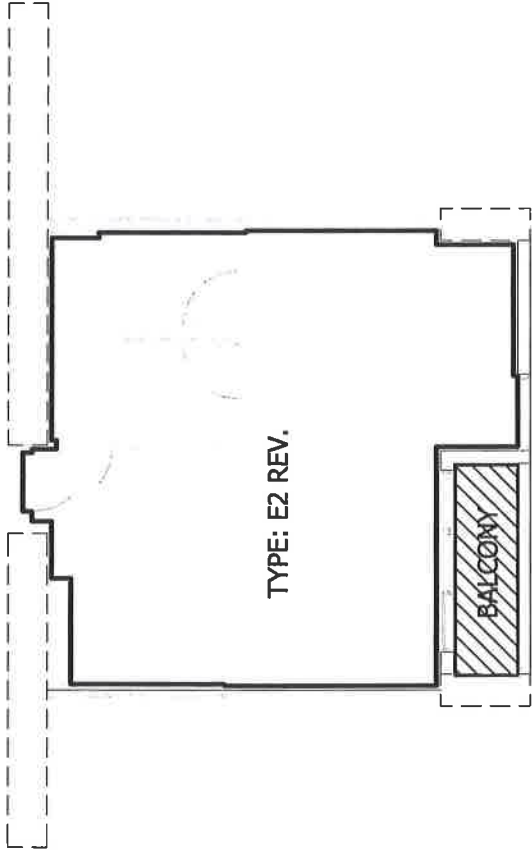
Unit Area: 526 sq.ft. +/-, Typical Area: 609 sq.ft. +/-.  
(For more details regarding square footage see Note # 9 of Surveyor's Notes page)



**TYPE: E-2**  
**UNITS: 407-607, 1207, 1407-1607,**  
**2207-2307, 2707-3007 & 3507-PH07,**  
**705-1105, 1705-2105, 2405-2605 &**  
**3105-3405**

Exhibit Z  
**SCHEDULE-B**

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS



NOTES:

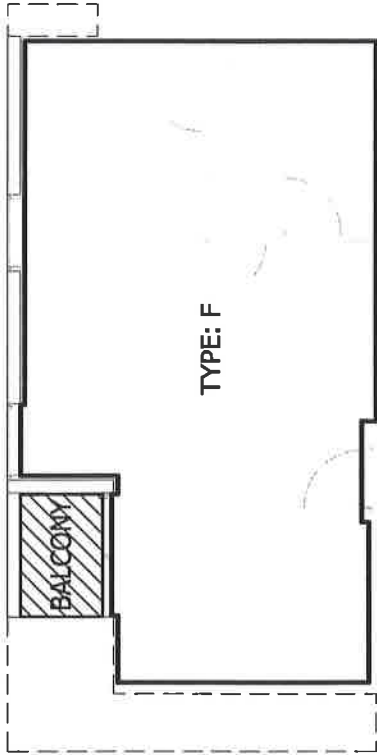
All balconies are Residential Limited Common Elements.  
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium.  
Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

Unit Area: 526 sq.ft. +/-, Typical Area: 609 sq.ft. +/-.  
(For more details regarding square footage see Note # 9 of Surveyor's Notes pages)



TYPE: E-2 rev.  
UNITS: 405-605, 1205, 1405-1605,  
2205-2305, 2705-3005 & 3505-PH05  
707-1107, 1707-2107, 2407-2607 &  
3107-3407

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS



NOTES:

All balconies are Residential Limited Common Elements.  
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium.  
Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

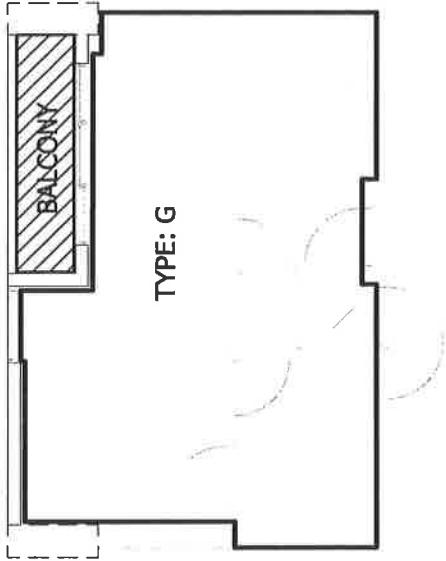
Unit Area: 564 sq.ft. +/-, Typical Area: 642 sq.ft. +/-.  
(For more details regarding square footage see Note # 9 of Surveyor's Notes page).



Exhibit 2  
~~SCHEDULE B~~

TYPE F  
UNIT: 408-1208, 1408-PH08

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT
- BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS

5' 0 5' 10'  
SCALE: IN FEET

NOTES:

All balconies are Residential Limited Common Elements.  
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium.  
Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

Unit Area: 430 sq.ft. +/-, Typical Area: 500 sq.ft. +/-.  
(For more details regarding square footage see Note # 9 of Surveyor's Notes page)



TYPE: G

UNITS: 406-606, 1006-1206, 1706-1906,  
2206-2406, 2806-3006 & 3406-PH06

Exhibit 2  
SCHEDULE B

CENTRO, A CONDOMINIUM



FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS



NOTES:

All balconies are Residential Limited Common Elements.  
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium.  
Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

Unit Area: 430 sq.ft. +/-, Typical Area: 500 sq.ft. +/-.

(For more details regarding square footage see Note # 9 of Surveyor's Notes page).



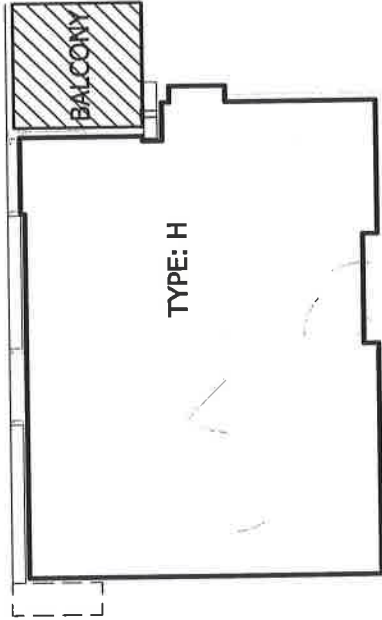
TYPE: G rev.

UNITS: 706-906, 1406-1606, 2006-2106,

2506-2706 & 3106-3306

Exhibit 2  
SCHEDULE B

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON ELEMENTS



NOTES:

All balconies are Residential Limited Common Elements.  
For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium.  
Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

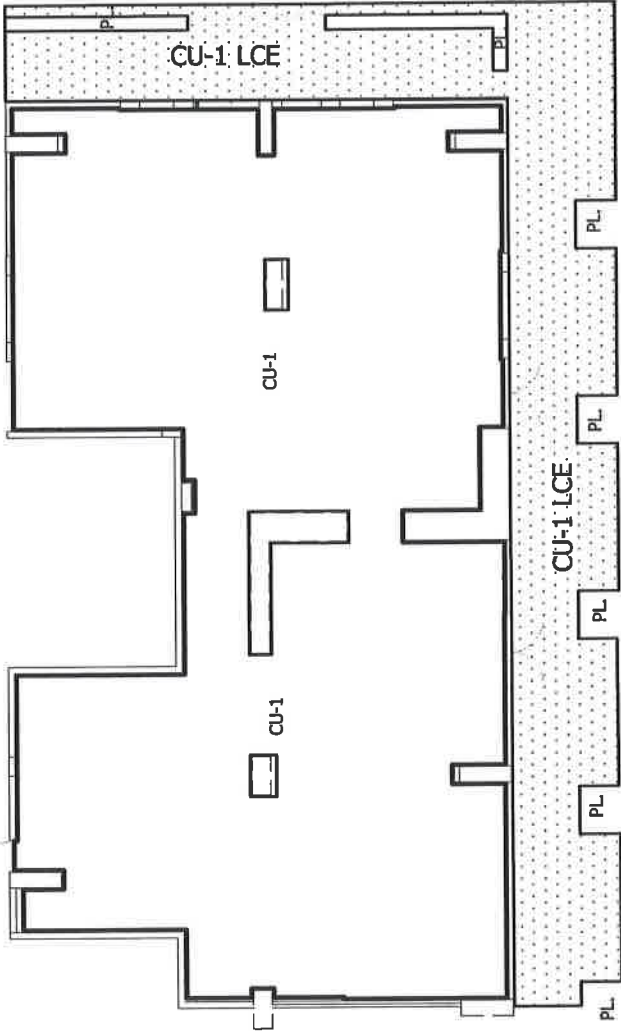
Unit Area: 446 sq.ft. +/-, Typical Area: 500 sq.ft. +/-.  
(For more details regarding square footage see Note # 9 of Surveyor's Notes page)



Exhibit Z  
SCHEDULE B

TYPE H  
UNIT: 404-1204, 1404-PH04

CENTRO, A CONDOMINIUM



FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT  
BOUNDARY LINE
- COMMON ELEMENT LINE
- LIMITED COMMON  
ELEMENTS FOR  
COMMERCIAL UNITS

NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium. Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements.



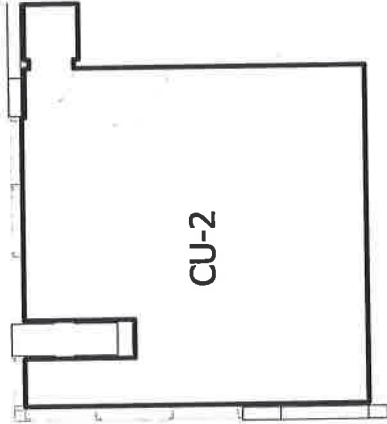
Unit Area: 4,037 sq.ft. +/-, Typical Area: 4,390 sq.ft. +/-.  
(For more details regarding square footage see Note # 9 of Surveyor's Notes page)



Exhibit 2  
SCHEDULE B

TYPE: CU-1

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT
- BOUNDARY LINE
- COMMON ELEMENT LINE

LIMITED COMMON  
ELEMENTS FOR  
COMMERCIAL UNITS

NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements.

Unit Area: 315 sq.ft. +/-, Typical Area: sq.ft. +/-.

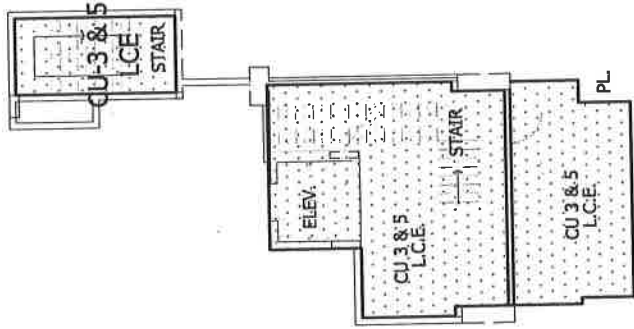
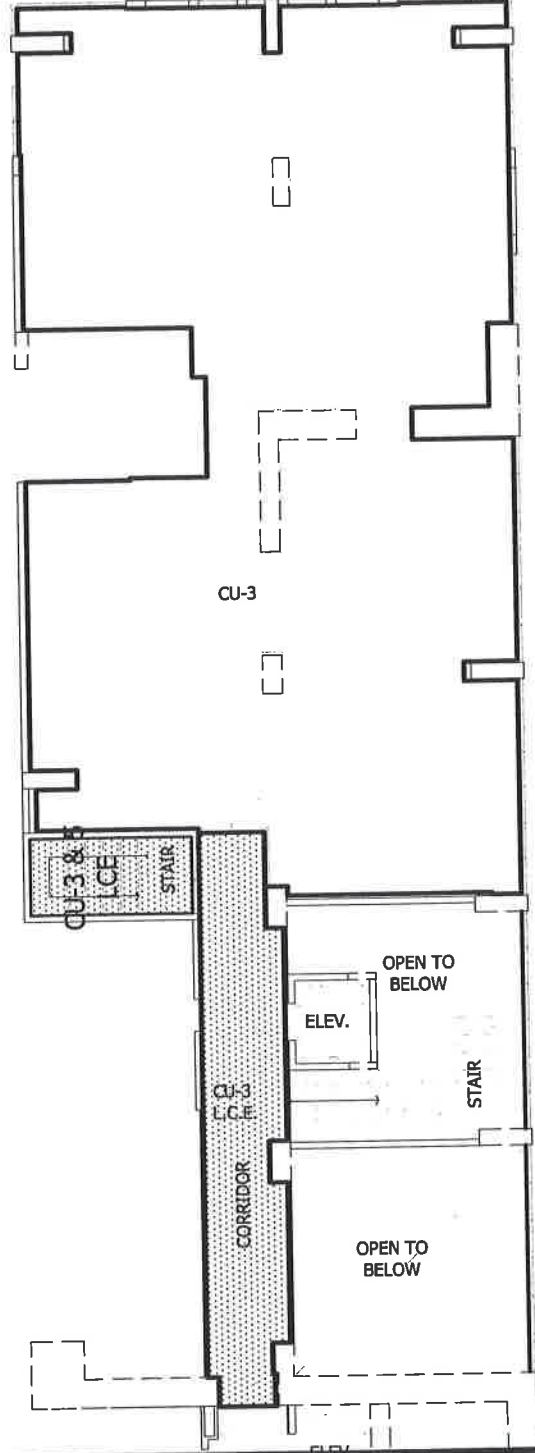
(For more details regarding square footage see Note # 9 of Surveyor's Notes page).



Exhibit 2  
~~SCHEDULE B~~

TYPE: CU-2

CENTRO, A CONDOMINIUM



EDC  
SURVEYING,  
INC.  
FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT
- BOUNDARY LINE
- COMMON ELEMENT LINE

LIMITED COMMON  
ELEMENTS FOR  
COMMERCIAL UNITS

NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

Unit Area: 4,152 sq.ft. +/-, Typical Area: sq.ft. +/-.

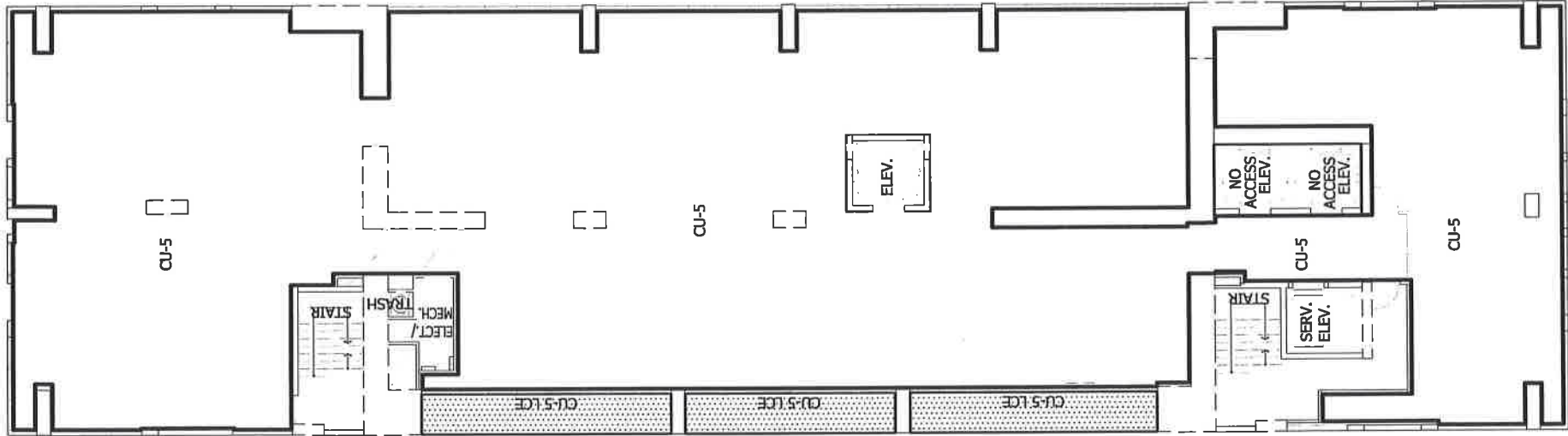
(For more details regarding square footage see Note # 9 of Surveyor's Notes page).



Exhibit 2  
SCHEDULE-B

TYPE: CU-3

CENTRO, A CONDOMINIUM



FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE



NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements.

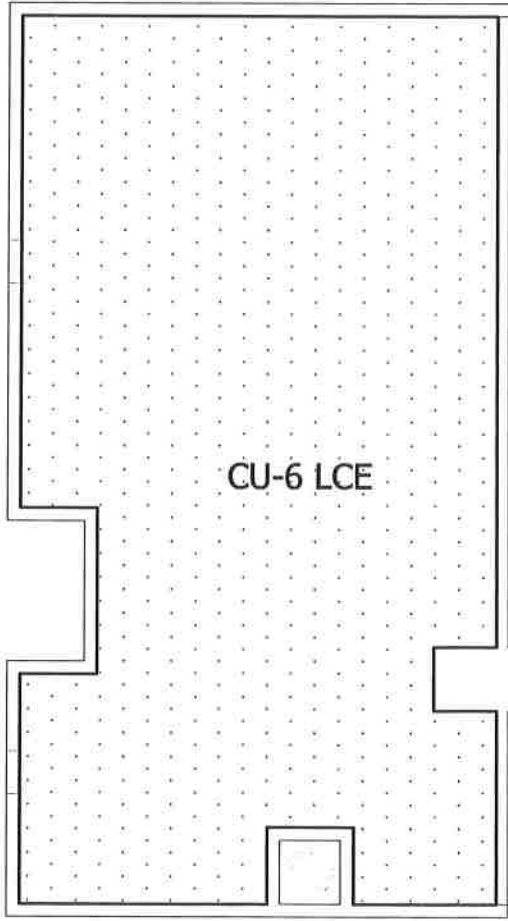
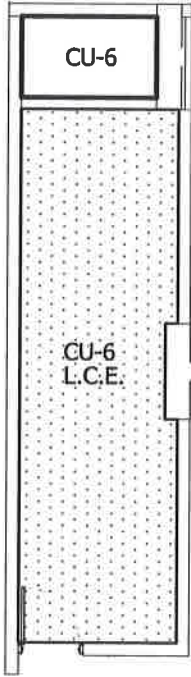
Unit Area: 7,830 sq.ft. +/-, Typical Area: sq.ft. +/-.  
(For more details regarding square footage see Note # 9 of Surveyor's Notes page)

Exhibit 2  
**SCHEDULE B**

**TYPE: CU-5**



CENTRO, A CONDOMINIUM



FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE



NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium Columns, structural walls and perimeter structures are Common Elements.  
Chases, columns and sheer walls within each unit, if any, are Common Elements.  
Walls and columns separating units are Common Elements.

Unit Area: 30 sq.ft. +/-, Typical Area: sq.ft. +/-.  
(For more details regarding square footage see Note # 9 of Surveyor's Notes page)

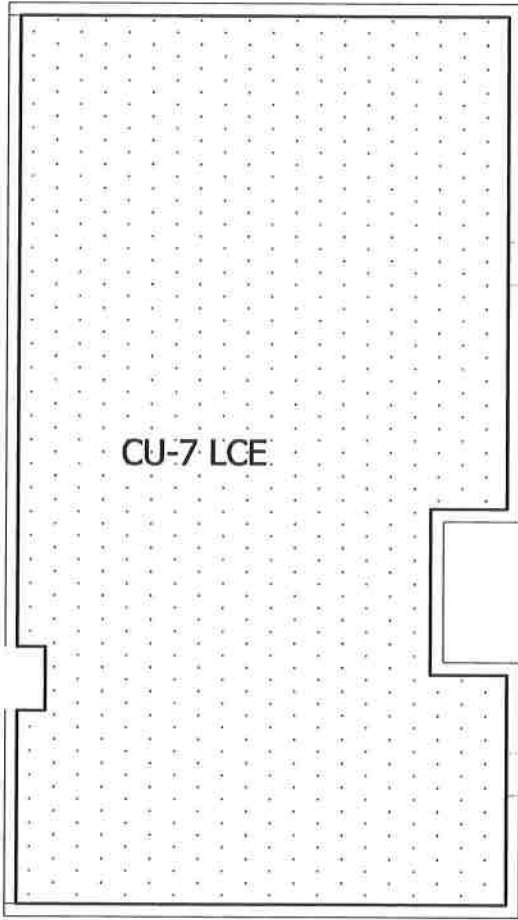
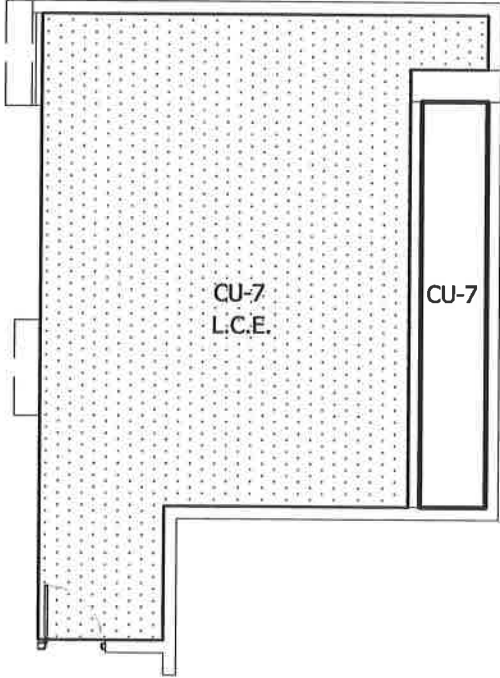
Exhibit 2

~~SCHEDULE B~~

TYPE: CU-6



CENTRO, A CONDOMINIUM



FLORIDA L.B. Reg. No. 7368  
DATE: 04-27-2016

PREPARED FOR:  
NGD-CENTRO, LLC

LEGEND:

- CONDOMINIUM UNIT BOUNDARY LINE
- COMMON ELEMENT LINE



NOTES:

For a complete description of the unit boundaries shown herein, refer to The Declaration Of Condominium Columns, structural walls and perimeter structures are Common Elements. Chases, columns and sheer walls within each unit, if any, are Common Elements. Walls and columns separating units are Common Elements.

Unit Area: 72 sq.ft. +/-, Typical Area: sq.ft. +/-.

(For more details regarding square footage see Note # 9 of Surveyor's Notes page)

Exhibit 2

~~SCHEDULE B~~

TYPE: CU-7



**EXHIBIT "3-1"**

**CENTRO, A CONDOMINIUM**

**ALLOCATION OF PERCENTAGE INTEREST IN COMMON ELEMENTS AND COMMON EXPENSES AND RESPONSIBILITY FOR  
COMMON EXPENSES**

| <u>Unit Type</u> | <u>Number of Units</u> | <u>% Interest per Unit</u> |
|------------------|------------------------|----------------------------|
| A                | 32                     | 0.425070%                  |
| B                | 32                     | 0.344146%                  |
| C                | 32                     | 0.320217%                  |
| D                | 32                     | 0.264092%                  |
| E-1              | 32                     | 0.231896%                  |
| E-1 REV          | 32                     | 0.231896%                  |
| E-2              | 32                     | 0.228851%                  |
| E-2 REV          | 32                     | 0.228851%                  |
| F                | 32                     | 0.245384%                  |
| G                | 15                     | 0.187083%                  |
| G REV            | 17                     | 0.187083%                  |
| H                | 32                     | 0.194045%                  |
| CU-1             | 1                      | 1.756409%                  |
| CU-2             | 1                      | 0.137049%                  |
| CU-3             | 1                      | 1.806442%                  |
| CU-5             | 1                      | 3.406657%                  |
| CU-6             | 1                      | 0.013052%                  |
| CU-7             | 1                      | 0.031326%                  |

Note: refer to exhibit "2" of this Declaration for a description of units by unit type.



**EXHIBIT "3-2"**

**CENTRO, A CONDOMINIUM**

**ALLOCATION OF RESIDENTIAL LIMITED COMMON EXPENSES**

| <u>UNIT TYPE</u> | <u>NUMBER OF<br/>UNITS</u> | <u>% INTEREST PER<br/>UNIT</u> |
|------------------|----------------------------|--------------------------------|
| A                | 32                         | 0.457810%                      |
| B                | 32                         | 0.370652%                      |
| C                | 32                         | 0.344879%                      |
| D                | 32                         | 0.284432%                      |
| E-1              | 32                         | 0.249756%                      |
| E-1 REV          | 32                         | 0.249756%                      |
| E-2              | 32                         | 0.246476%                      |
| E-2 REV          | 32                         | 0.246476%                      |
| F                | 32                         | 0.264283%                      |
| G                | 15                         | 0.201492%                      |
| G-REV            | 17                         | 0.201492%                      |
| H                | 32                         | 0.208989%                      |

NOTE: REFER TO EXHIBIT "2" OF THIS DECLARATION FOR A DESCRIPTION OF UNITS BY UNIT TYPE.



**EXHIBIT "6"**  
**CENTRO DOWNTOWN CONDOMINIUM ASSOCIATION INC.**

**(APPLICABLE ONLY PURSUANT TO ARTICLE 25 OF THE DECLARATION)**

| <u>Unit Type</u> | <u>Monthly</u> |          | <u>Annual</u> |
|------------------|----------------|----------|---------------|
| A                | \$             | 715.95   | \$ 8,591.40   |
| B                | \$             | 579.64   | \$ 6,955.68   |
| C                | \$             | 539.34   | \$ 6,472.08   |
| D                | \$             | 444.81   | \$ 5,337.72   |
| E-1              | \$             | 390.58   | \$ 4,686.96   |
| E-1 REV          | \$             | 390.58   | \$ 4,686.96   |
| E-2              | \$             | 385.45   | \$ 4,625.40   |
| E-2 REV          | \$             | 385.45   | \$ 4,625.40   |
| F                | \$             | 413.30   | \$ 4,959.60   |
| G                | \$             | 315.10   | \$ 3,781.20   |
| G-REV            | \$             | 315.10   | \$ 3,781.20   |
| H                | \$             | 326.83   | \$ 3,921.96   |
| CU-1             | \$             | 1,192.82 | \$ 14,313.84  |
| CU-2             | \$             | 93.07    | \$ 1,116.84   |
| CU-3             | \$             | 1,226.80 | \$ 14,721.60  |
| CU-5             | \$             | 2,313.55 | \$ 27,762.60  |
| CU-6             | \$             | 8.86     | \$ 106.32     |
| CU-7             | \$             | 21.27    | \$ 255.24     |

Note: refer to exhibit "2" of this Declaration for a description of units by unit type.

STATE OF FLORIDA, COUNTY OF DADE  
I HEREBY CERTIFY that the foregoing is a true and correct copy of the  
original on file in this office. APP 29 2016/AD 20



HARVEY RUVIN, Clerk of Circuit and County Courts

Deputy Clerk